

Architectural Heritage Impact Assessment Report

Proposed development at 139-149 North King Street, Dublin 7 to provide a purpose-built student accommodation development in a 7-storey building over a partial existing basement with a setback at 5th floor and a further significant setback at the 6th floor level, incorporating the retention of the protected facades to the façade on North King Street and Bow Street (RPS Ref. No. 8790 – north and east elevation only)



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1.0 INTRODUCTION

- 1.1 This Architectural Heritage Impact Assessment has been prepared to accompany a planning application to Dublin City Council for 139-149 North King Street, Dublin 7. The existing buildings comprise modern warehouse structures, incorporating the retained facades of the early-twentieth century former Crean Soap Factory. The site is bounded by public roads on three sides – North King Street (to the north), Bow Street (to the east), and Brown Street North (to the west). The site includes a protected structure (RPS ref. no. 8790), which is described on the Record of Protected Structures as the ‘Former Factory (north and east elevations only)’ at 139-149 North King Street, Dublin 7. The retained north façade, fronting onto North King Street, comprises a twenty-six-bay two-storey terraced façade of red brick laid in Flemish bond, with granite quoins and plinth. This (north) façade includes a rendered shopfront to three eastern-end bays. The east façade comprises a four-bay two-storey gabled façade with unpainted render finish, with an attached four-bay two-storey rendered façade of a flat-roofed annex to the south.
- 1.2 The development will consist of the demolition of existing structures on site, with the exception of the façade on North King Street (N) and Bow Street (E), which is a protected structure (RPS Ref. No. 8790 – north and east elevation only), which will be retained, improved and restored as part of the proposed development. The proposal will provide a purpose-built student accommodation development in a 7-storey building over a partial existing basement with a setback at 5th floor and a further significant setback at the 6th floor level. The proposal includes 361 no. student bedspaces, a ground level retail unit with frontage to both North King Street and Bow Street, communal facilities including a courtyard, external terrace at roof level at 5th and 6th floor and internal amenity spaces. The proposal also includes public realm improvements works along Brown Street North.
- 1.3 No’s 139-149 North King Street comprises a two-storey, twenty-six-bay, red brick (north) façade onto North King Street. The eleven eastern-most bays of this façade, together with a significant part of the east façade (onto Bow Street), was constructed in the late-nineteenth century. The remaining fifteen bays on the (western) portion of the north façade was constructed following damage sustained to the earlier building in the aftermath of the 1916 Rising. The east and north facades are included in the Record of Protected Structures (RPS. Ref. No. 8790). The two-storey building behind these facades dates from the mid-to-late twentieth century and is excluded from the RPS entry. This relatively modern building includes an earlier basement (in the north-east corner of the site) and a structural steel frame (within the western portion of the building, constructed post-1916). The history and evolution of the site has been researched through existing (primary and secondary) documentary sources and through investigation of the building fabric by the author, a RIAI Grade 1 Conservation Architect. The report incorporates key findings from two reports, prepared by Franc Myles, archaeologist, to accompany the subject planning application – an ‘*Archaeological assessment of 139-149 North King Street Dublin 7*’ and a ‘*Battlefield assessment of 139-149 North King Street Dublin 7*’ (relating to the occupation of parts of the site by crown forces in 1916).
- 1.4 This AHIA report has been prepared in accordance with the guidance set out in the *Architectural Heritage Protections Guidelines for Planning Authorities* (Department of Culture Heritage and Gaeltacht, 2011). The impact of the proposed development has been evaluated and mitigation measures, where possible and appropriate, have been identified. The impact of the proposed development from key viewpoints in the surrounding streetscape is assessed, based on the photomontage verified views that accompany the application.
- 1.5 Appendix A of this report contains photographs of the site, and the interior and exterior of the existing buildings, taken by the author during site inspections on 26th July 2024 and 7th March 2025. Appendix B contains survey plans, on which the viewpoints of the photographs have been annotated.

- 1.6 The subject planning application is being lodged as an LRD planning application. The report takes account of the conservation feedback received at two LRD pre-planning consultations with Dublin City Council, which took place online on 6th November 2023 and 8th October 2024.



Fig. 1 Aerial photograph showing location of site shaded. The site fronts onto North King Street to the north.

2.0 HISTORICAL BACKGROUND

2.1 North King Street and its environs

The subject site, bounded by Brown Street, North King Street and Bow Street, is located within the Medieval suburb of Oxmanstown (also known as Stoneybatter) on the north side of the River Liffey. The modern-day boundaries of this historic district comprise Church Street (to the east), the Phoenix Park (to the west), North Circular Road (to the north), and the Liffey (to the south). The transpontine settlement of Oxmanstown, located across the river from the twelfth century walled enclosure of Dublin, was defined by two north-to-south thoroughfares – Church Street (taking its name from the eleventh century St. Michan’s Church to the east) and Stoneybatter (an anglicization of Bothar-na-gCloch, to the west). Between these two ancient roads lay the lands of Grange Gorman, which were owned by the estate of the Augustinian Priory of the Holy Trinity (subsequently Christ Church Cathedral)¹. There was a large area of commonage, to the west of St. Michan’s Church, known as Oxmanstown Green². There are no known surviving buildings of Medieval date within the area, although some fabric within the seventeenth century tower of St. Michan’s may date from the late-Medieval period.

Much of the existing street plan dates from a period of extensive urban development, which commenced following the restoration of the British Monarchy in 1660, when the Duke of Ormond was granted lands at Oxmanstown Green by Dublin Corporation to develop a new residential district around on a large open air cattle market³. This new market place, Smithfield, was surrounded by a network of streets and urban blocks that were subdivided into building lots. A number of significant public buildings were constructed in the last decades of the eighteenth century – most notably the Hospital and Free School of King Charles II in 1671

¹ Casey, Christine, ‘The Buildings of Ireland – Dublin’, (Yale University Press, 2005), pp. 235-238

² The Medieval history of Oxmanstown is discussed by Franc Myles, archaeologist, in the Archaeological assessment of 139-149 North King Street Dublin 7, which accompanies the subject planning application.

³ Myles, Franc ‘The early history of Smithfield and Stoneybatter’ (online article <http://www.smithfieldandstoneybatter.ie/history/>)

(subsequently reconstructed as the Blue Coat School in the late-eighteenth century) and St. Paul's Church at the west end of North King Street in 1697 (subsequently replaced by the present Board of First Fruits Church in 1824). To protect the new suburb from flooding, a new quay wall was constructed along the north shoreline of the River Liffey. The network of new seventeenth century streets included Queen Street (running north from the river and named for the Queen Consort, Catherine), Hendrick Street and Blackhall Street (both to the west of Queen Street). The name 'King Street North' was adopted during this post-restoration period of urban development, although it is likely that the street existed in some form prior to the seventeenth century. Bow Street (referred to as 'Lough Buoy' in the eighteenth century), to the east of the subject site, is a significantly older street⁴.

The development of the domestic plots within the Smithfield and Stoneybatter area incorporated the construction of several significant dwellings – including large houses constructed by the Earl of Bective (fronting onto Smithfield Market), the Monck Family (on Manor Street) and the Steeven's Family (on Prussia Street)⁵. The plots along North King Street included terraced early Georgian townhouses – with No's 85 (constructed c.1750) and 85 (constructed c.1750, altered c.1800) surviving as good examples⁶. The plots at the east end of present-day North King Street (annotated as Oxmanstown in John Rocque's 1756 Map of Dublin) were developed in the early eighteenth century as terraced houses (some with shops at street level) over basements⁷.

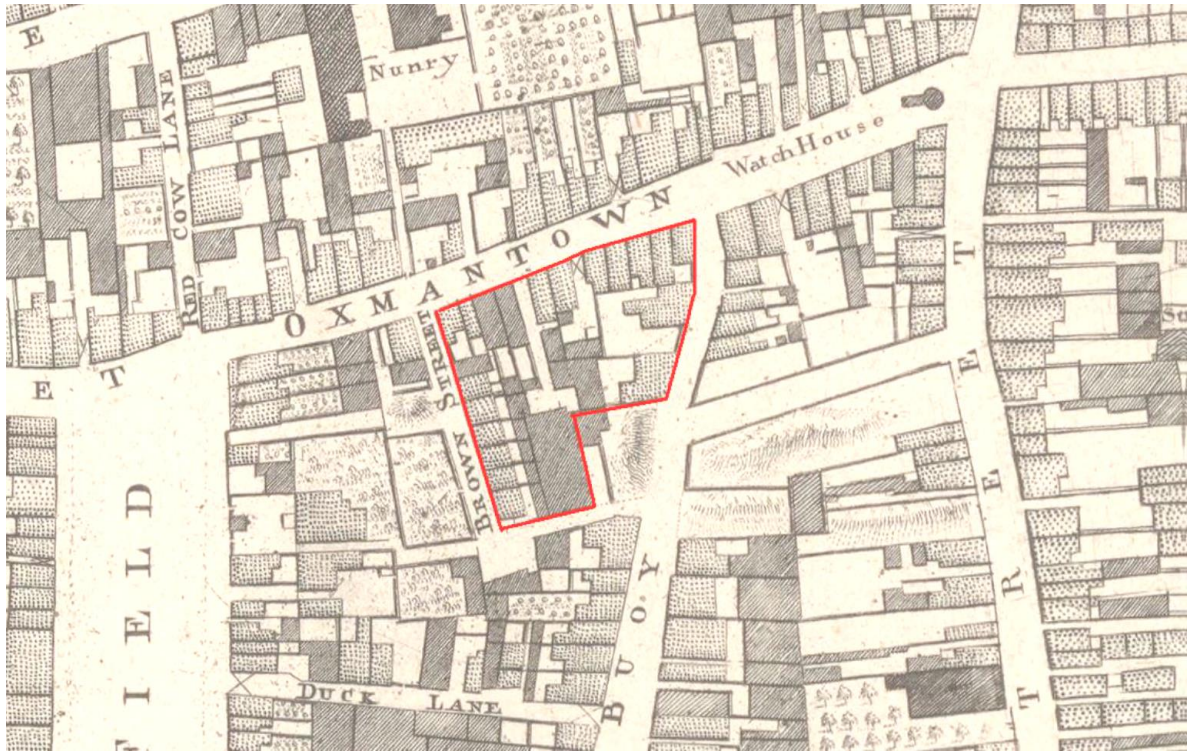


Fig. 2 Extract from John Rocque's Map of Dublin (1756) with subject site outlined in red

2.2 139-149 North King Street

Rocque's map of 1756 (fig. 2 above) shows a street layout surrounding the subject site that is unchanged to the present day. There are four-storey over basement terraced houses occupying relatively narrow plots on the south side of North King Street (annotated as 'Oxmanstown'). There are two larger dwellings fronting onto Bow Street (annotated as 'Lough Buoy') to the east. There are terraced houses on the east side of Brown Street, occupying shorter plots. The Rocque map is of particular interest as it shows the entire site occupied by dwelling houses. By the late-eighteenth century, the houses on Brown Street had been replaced by a holding yard for cattle.

⁴ Myles, Franc, 'Archaeological assessment of 139-149 North King Street Dublin 7', pp. 1-2

⁵ Casey, op. cit.

⁶ NIAH ref. 50070200 (No. 85) and 50070202 (No. 81)

⁷ Myles, op. cit. p.2

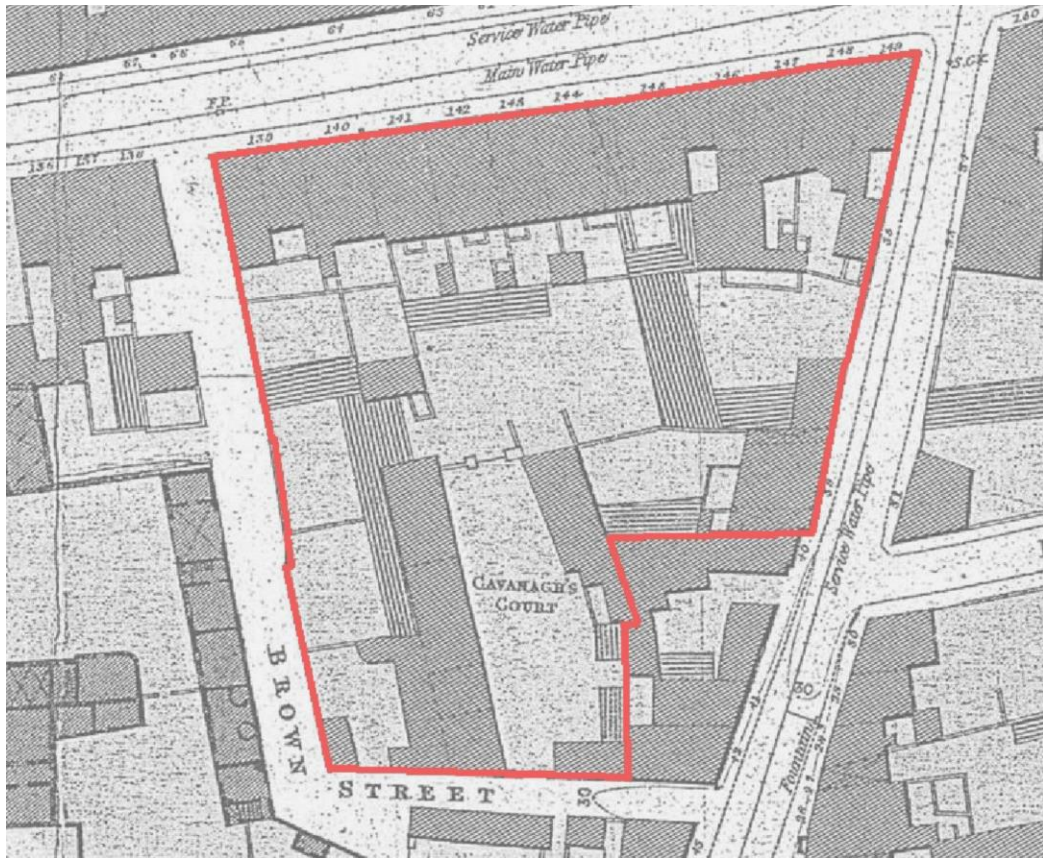


Fig. 3 Extract from large scale Ordnance Survey map, Dublin Sheet 13, (1847), with subject site outlined in red.

The large scale Ordnance Survey map of 1847 shows the individual plots of the terraced four-storey-over-basement houses on the south side of North King Street. This map is annotated with the individual street number of each building, corresponding to the numbering that remains to the present day (No's 139-149 North King Street). The footprint of 149 North King Street (on the corner with Bow Street), corresponds to the size and shape of a surviving part of the basement underneath the north-east corner of the present-day two-storey industrial building. This map shows a series of open cattle yards on the east side of Brown Street. There is a large open yard – Cavanagh's Court' – located within the centre of the block with single-storey outbuildings to the east and west. A historic photograph of Cavanagh's Court taken by W.J. Joyce shows the rear façade of No's 141 and 142 North King Street, shortly before their demolition in 1913 (fig. 4).



Fig. 4 Historic photograph of Cavanagh's Court showing the four-storey rear (south) facades of 141 and 142 North King Street prior to their demolition



Fig. 5 Extract from 25" Ordnance Survey map (1886) showing subject site shaded red. This is the first OS map to show a large industrial building on the north-east corner of the site. The carriage arch to the central courtyard of this factory building coincides with the stone arch on the North King Street façade.



Fig. 6 Extract from 25" Ordnance Survey map (c.1911) showing subject site outlined in red.

The history of manufacturing on the subject site dates from at least the 1860s. Thom's Almanac and Official Dictionary for the Year 1862 lists Nos.145-148 as being occupied by Patrick Farrell & Son, soap boilers and tobacconists. The 1886 Ordnance Survey map of Dublin (fig. 5) contains the first cartographic evidence of a purpose-built factory on the north-east corner of the site, with a central courtyard accessed by a carriage arch. The 25" Ordnance Survey map (fig. 6) shows this industrial building as the 'Phoenix Works'. Both maps show the surviving eighteenth century houses at the west end of the terrace fronting onto North King Street together with the central courtyard, annotated as 'Cavanagh's Court'. 'Phoenix Works' was occupied by James Crean & Son, who had a presence on the site from the late 1880s and were a significant manufacturer of soap in Dublin. An advertisement for 'Gladiator Soap' from the *Irish Independent* in 1922 gives the address of James Crean & Son Ltd. (Titan Soap Co.) as 140-148 North King Street and proudly declares that their product is 'Deanta I mBaile Átha Cliath'.



Fig. 7 Advertisement for Gladiator Soap giving address of James Crean & Son, Irish Independent (1922)

2.3 Evolution of the site during the twentieth century

The Crean soap factory was occupied by British forces in the aftermath of the 1916 Rising and North King Street saw engagement between the military and the volunteers⁸. Claims for compensation from James Crean & Son Ltd, lodged following the fighting of Easter week, includes a letterhead showing the soap factory building on North King Street as it existed in 1916. The configuration of the 11 eastern-most bays of the façade onto North King Street, as shown on this image, incorporates a three-bay shopfront and a segmental arched opening with stone surround, largely corresponds to the present-day retained façade at the north-east corner of the site.

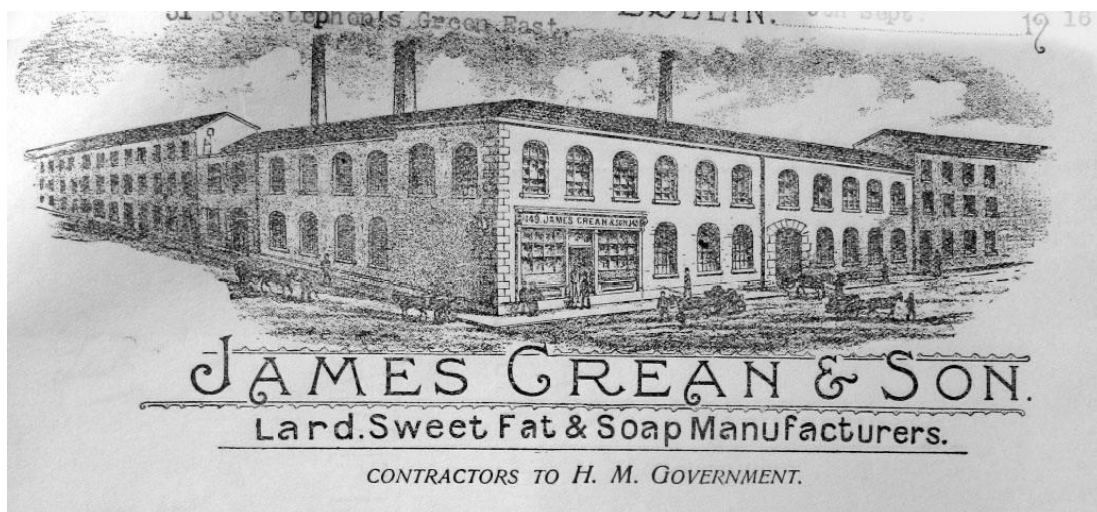


Fig. 8 Extract from 1916 James Crean & Son letterhead, showing the configuration of the earlier building prior to the fighting of Easter week.

There is no evidence of fighting or gunfire directly impacting on the building. The damage to the eleven-bay soap factory appears to have been minimal, primarily caused by the soldiers pushing out windows, followed by looting of stock once the British forces moved out. An initial claim to the Property Losses (Ireland) Committee for damage by Crown forces described repairs to window openings, the replacement of damaged windows and internal repairs at Nos 144-149 received a payment of £27 10s. A subsequent larger claim for £125 in respect of soap products stolen during looting of the factory was unsuccessful.

The James Crean & Son soap factory was extended to the west, replicating the materials, detailing and proportions of the earlier eleven-bay façade in the period 1920-30. This expansion of the use of the building

⁸ A thorough account of the fighting around the subject fight and its impact on the subject site is contained in Franc Myle's report ('Battlefield assessment of 139-149 North King Street Dublin 7'), which accompanies the subject planning application.

appears to have been unrelated to the remedial work carried out following the military's occupation of the building in 1916. The extension of the soap factory took place in stages, with the later extensions closely replicating the detailing of the earlier building. The company acquired No's 141-144 North King Street in the early 1920s, facilitating the expansion of the earlier eleven-bay building to designs by Jones & Kelly architects. The last edition six inch Ordnance Survey map shows the extended soap factory occupying No's 149 to 141 North King Street (fig. 8 below). The surviving early-twentieth century steel frame on the interior of the building is located on the historic plots of No's 141 to 144 and most likely dates from this period. The three-bay shop front, at the north-east corner of the earlier building, is of concrete render with Art Deco influenced stepped detailing and most likely dates from the 1920's work. A chimney was added to 141-144 North King Street in 1933, also designed by Jones and Kelly. A further expansion of the factory took place following the acquisition of Nos 139-140 to the corner of Brown Street in 1942. There are mentions of further extensions having been constructed in the Irish Builder during the early 1950s.



Fig. 9 Extract from 6" Ordnance Survey Map of Dublin, last edition (c.1930), with subject site shaded red

2.4 139-149 North King Street today

The building fabric to the rear of the retained north and east facades comprises a two storey warehouse/light industrial building was substantially reconstructed in the late-twentieth century and is now occupied by an Italian food wholesaler (at the western six bays), a microbrewery (central section) and under-used warehouse accommodation (at the eastern end of the building). While the earlier facades have been retained onto Bow Street and North King Street, the new building behind has a modern metal deck roof. The west façade (onto Brown Street) dates from the construction of the food wholesale warehouse in the early-1990's. There is a large delivery yard and late-twentieth century warehouses to the rear of the site.



Fig. 9 Recent aerial photograph looking south towards 149-139 North King Street. This photograph shows the modern metal deck roofs to the rear of the retained brick façade (reproduced from Architectural Design Report by MOLA)

3.0 DESCRIPTION OF 139-149 NORTH KING STREET AND ITS ASSOCIATED SITE



Fig 11 Photograph of front façade onto North King Street (NIAH Survey)

3.1 North façade onto North King Street

The two-storey brick frontage onto North King Street comprises a contiguous brick façade with ashlar granite details – sills, plinth, quoins, and arched opening. This brick façade dates from three different periods – the eleven easternmost bays comprise the surviving façade of the Phoenix Works soap factory (c.1885); the central section, comprising nine bays, dates from the extension of the factory into 141-144 North King Street in 1923; and the six eastern-most bays date from a further extension (into No's 139-140) in c.1942. There is a three-bay cement rendered shopfront at ground floor level at the east end of this façade, with stepped reveals carrying Art Deco influences. This shopfront replaces an earlier late-Victorian timber shopfront (shown on the 1916 letterhead) and dates from c.1920. Given the recorded damage to window openings caused by the occupying British troops, the replacement shopfront may have been required as part of the post 1916 remedial works. It is unclear if the central bay of the shopfront was constructed as a door opening and subsequently converted to a window at a later date.



Fig 12 Cement-rendered shopfront at eastern end of façade to North King Street

The segmental arched window openings at ground and first floor level have gauged brick heads, bull-nosed brick to reveals and granite sills. These openings include thirteen multi-pane single-glazed steel frame windows at first floor level, with four pane opening sections, at first floor level. These windows date from the post-1916 period, encompassing the remedial works carried out after the Easter Rising and the subsequent nine-bay extension of 1923. There are timber frame single-glazed windows within the shopfront and the three ground floor openings to the east of the (former) carriage arch. The remaining window openings are fitted with replacement uPVC frame windows that loosely replicate the design of the earlier steel windows. There are subtle differences in the detailing of the window opening between the earliest (eastern) section and the later extensions – the earlier sills incorporate multiple holes for security railings (now mostly removed) and the nine ground floor sills of the 1923 extension have a single drill hole at the outer corners (possibly for a decorative sill rail). As a general comment, the granite window sills are in much better condition in the later (western) sections of the façade. The earliest (eastern) portion of the facade includes a segmental arched door opening with granite block-and-start surround, incorporating granite voussoirs and a projecting keystone. This opening was originally constructed as a carriage arch to a central courtyard and now includes modern timber double doors and overhead. The roof structure is of modern date, dating from the late twentieth century.



Fig. 13 Ground floor window on eastern part of facade



Fig. 14 Former carriage arch with modern panelled timber door



Fig. 15 Ground floor window opening on central section of facade

3.2 East facade onto Bow Street

The east façade onto Bow Street is finished in a cement-based render finish, dating from the mid-to-late twentieth century. This render is discoloured and creates a negative impression on the streetscape of Bow Street. As with the eleven eastern-most bays of the (brick) north façade, much of the fabric of this facade appears to date from the late-nineteenth century (c.1885) soap factory – there is a continuous granite plinth at the base of the entire façade and the granite quoins at the northern and southern (ground floor level only) ends of the façade are similar. The presence of the heavy cement-based render makes it difficult to distinguish between modern and historic fabric. The gable above first floor level on the northern part of the façade is of modern (late-twentieth century) date (fig. 16). Although there appear to be some differences between the existing arrangement of openings and the drawing of the building on the 1916 letterhead of James Crean & Son (fig. 8 above), the segmental-arched window openings at ground floor and first floor level all appear to date from the late-nineteenth century. These include blind openings at ground floor level, with uPVC frame windows to the upper openings (loosely replicating the detailing of the 1920's steel frame windows on the north façade). The two southern-most openings at first floor level are narrower in width. There are three square-headed window openings at ground floor level at the northern ends of the façade. These appear to have served a shop unit (associated with the shopfront on the north façade) and are of mid-twentieth century date.



Fig. 16 First floor interior, looking towards the north-east corner of the site. There are surviving segmental arched window openings on both the north (left) and east (right) external walls. The gable and roof structure are clearly of much later date.



Fig. 17 Southern portion of the east façade onto Bow Street, with blind openings at street level and windows to the first floor opening. The granite plinth and granite quoin (to the south corner) suggest that the entire façade (ground floor level at least) dates from the construction of the late-nineteenth century soap factory.

3.3 West façade onto Brown Street

The west façade of the existing building (onto Brown Street North) is a modern reconstruction (dating from c.1994), with painted render finish⁹.



Fig. 18 West façade onto Brown Street

⁹ The present two-storey façade was constructed on foot of planning permission granted under ref. 0706/93

3.4 Interior of 139-149 North King Street

The buildings behind the retained north and east facades are of modern construction. The interior incorporates some steel I-section columns and beams with bolt connections dating from the 1920's. This early-twentieth century structural steelwork, located behind the central part of the retained north façade (constructed in c.1923), is no longer providing a structural function and has been superseded by modern (late-twentieth century) columns, which support the roof and a modern floor slab at first floor level. The casting and detailing of this 1920's steelwork is typical of the early twentieth century structural design with tapered flanges and diminishing column sizes on the upper floor.



Fig. 19 Interior of micro-brewery (ground floor level), showing interface between retained 1920's steel column and modern ceiling/floor slab.

The east part of the site includes a basement with interconnecting rooms, at least part of which is likely to incorporate the basements of the late-eighteenth century terraced houses which pre-dated the construction of the soap factory in the 1880's. The internal walls and ceilings of this basement are predominantly lined in plasterboard and it was not possible to determine if any significant fabric or features survive in this location. There are shallow curves in the plasterboard-lined ceiling soffit in parts of the basement, suggesting that sections of the ceiling may comprise steel beams with shallow brick vaults – a type of construction found elsewhere on late-nineteenth century industrial buildings in Dublin.



Fig. 20 Interior of basement under east part of site.

3.5 Yard and warehouse to rear (south) of site

There is a large goods yard to the rear of the buildings fronting onto North King Street (fig. 21). There are two double-height warehouses to the rear (south) of the site (fig. 22).



Fig. 21 Drone photograph (April 2023) looking north-east showing modern roofs and warehouses to the rear of the retained north and east facades.



Fig. 22 Interior of two-storey warehouse to rear (south) of site

4.0 ASSESSMENT OF SIGNIFICANCE

4.1 Overview

The NIAH survey gives the building a Regional rating (NIAH ref. 50070319), noting that the ‘terrace of commercial buildings forms a cohesive south edge to King Street North. The detailing is simple, yet the granite quoins and arch surround add a refined level of detail, and the bull-nosed bricks are a typical feature of early-twentieth century brickwork which create a pleasing effect. The surviving early metal windows are typical of early twentieth-century commercial building windows and remain in good condition’.

having been added in 1933-34, no longer survives. In its report recommending the addition of the north and east facades to the Record of Protected Structures¹⁰, the Conservation Section of Dublin City Council (DCC) identified the structure as meeting the NIAH criteria of special interest under three headings, as summarised below:

- | | |
|---------------|---|
| Architectural | <ul style="list-style-type: none">• The building is identified as an exemplar of good quality architectural design with high quality architectural detailing and design evident in the former factory's form and function.• The survival of early-twentieth century steel frame windows adds to the interest of the north façade• The later extensions (1923 – 1942) are the work of a noted architectural practice, Jones & Kelly, architects of the competition-winning Cork City Hall.• The building is one of the only historic buildings on this section of North King Street, with its scale and form making a positive contribution to the streetscape. |
| Historical | <ul style="list-style-type: none">• The site has a long industrial heritage dating back to the 1860's, providing evidence of a time when industrial activity was a significant feature of life in the north inner city of Dublin.• The building is of historic interest due to its occupation by the military in the aftermath of the 1916 Rising. |
| Social | <ul style="list-style-type: none">• The former soap factory is of social interest as a significant employer in the area, providing a social focal point within the Smithfield area. |

The above NIAH and DCC assessments of significance, are consistent with my own overall assessment of significance for the site. In the context of the subject planning application, it is important to note that the site contains fabric and features from different periods and of varying significance. For this reason, the significance of each component of the site is separately assessed below.

4.2 North (brick) façade to North King Street

The twenty-six bay brick north façade, although constructed in three phases, is remarkably consistent in its detailing, particularly in the replicating of earlier details and features (granite quoins, rounded brick reveals, granite ills, etc.), which demonstrates the great care taken by the architects, Jones & Kelly, in the design of the later extensions. The façade incorporates a high quality late-nineteenth century granite carriage arch, surviving 1920's multi-pane steel windows, and a modest but well-executed cement render shopfront with stepped detailing, which add to the special interest of the overall composition.

4.3 East Façade onto Bow Street

Although much altered, the east façade contains strong evidence that much of the fabric behind the unsightly modern cement dash render survives from the former soap factory, which was constructed in the 1880's. The continuous granite plinth, granite quoins, and segmental arched openings continue the detailing of the more intact north façade. Notwithstanding the loss of character through inappropriate later interventions, this façade is of comparable significance to the north façade. There is considerable potential to improve the presentation of this façade, which would contribute to an enhanced presentation of the frontage onto North King Street.

4.4 West façade onto Brown Street

The west façade dates from the 1990's. It is a modern façade of no significance and no architectural special interest.

¹⁰ <https://www.dublincity.ie/sites/default/files/2021-01/rps-initiation-report-cac-re-add-687-nos.-139-149-north-king-street-d7-ext.pdf>

4.5 Steel frame on interior of 141-144 North King Street

The 1920's steel frame, comprising I-section columns and beams within the central part of 139-149 North King Street, is of moderate technical special interest as a relatively early example of a steel structural frame. One of the earliest examples of a steel structural frame is the Guinness Storehouse Building (1902-05), and the technology was well-established by the 1920's, when the soap factory was extended. Key characteristics are the rounded ends to the flanges (compared to modern steelwork) and diminishing column sizes on the upper floors, where there is less load. The steel framework at the former soap factory is relatively isolated and has been superseded by new late-twentieth century structural steel work, which has somewhat diminished its technical special interest.

4.6 Basements at north-east corner of former soap factory

The basements at the north-east corner of the site almost certainly include fabric from the late-eighteenth century townhouses that previously stood at No's 147-149 North King Street. The internal walls and ceilings of these basements are lined in plasterboard and no features of significance were noted during my inspection of this part of the building. It is likely that the ground floor structure over these basement spaces dates from the late-nineteenth century construction of the soap factory. There is potential for significant concealed fabric in this location, which should be thoroughly investigated and recorded during the strip-out phase once construction begins.

4.7 Interior and rear facades of 139-149 North King Street

The interior, roof and rear wall construction of the buildings behind the retained north and east facades all date from the late-twentieth century, having no significance and no architectural special interest.

4.8 Goods yard and modern warehouses to south of site

The enclosing walls to the goods yard and the modern warehouse buildings to the rear (south) of the site all date from the late-twentieth century, having no significance and no architectural special interest.

5.0 PROPOSED DEVELOPMENT

The development will consist of the demolition of existing structures on site, with the exception of the façade on North King Street (N) and Bow Street (E), which is a protected structure (RPS Ref. No. 8790 – north and east elevation only), which will be retained, improved and restored as part of the proposed development. The proposal will provide a purpose-built student accommodation development in a 7-storey building over a partial existing basement with a setback at 5th floor and a further significant setback at the 6th floor level. The proposal includes 361 no. student bedspaces, a ground level retail unit with frontage to both North King Street and Bow Street, communal facilities including a courtyard, external terrace at roof level at 5th and 6th floor and internal amenity spaces. The proposal also includes public realm improvements works along Brown Street North.

6.0 IMPACT OF PROPOSED DEVELOPMENT ON THE RETAINED FAÇADE (139-149 NORTH KING STREET) AND OTHER SIGNIFICANT FABRIC AND MITIGATION MEASURES ADOPTED

The physical and visual conservation impacts of the proposed development on the retained façade (139-149 North King Street) and other significant fabric are discussed below. Recommendations in relation to these impacts are noted in italics.

6.1 Demolition of the existing two-storey building behind the retained façade of 139-149 North King Street

The two-storey building behind the retained façade of 139-149 North King Street will be carefully demolished. In advance of the demolition, a soft strip-out will take place on the interior of the building, to include the removal of floor finishes, suspended ceilings, lightweight partition walls and any drylining to the external walls. On completion of this strip-out the interior of the building will be inspected by the project conservation architect and a detailed photographic record compiled. The 1920's steel structural frame will be numbered and carefully dismantled so that a representative portion of the frame can be put on display at a location to

be agreed within in the completed development. The demolition of the existing building shall be carried out by skilled operatives, taking particular care to avoid damage to the retained north and east façade.

The interior, roof and rear wall construction of the buildings behind the retained north and east facades all date from the late-twentieth century and have been identified as having no significance or architectural special interest. With the exception of the redundant 1920's steel frame, the proposed demolition will not impact on significant fabric within the site.

The 1920's steel frame is a feature of moderate special interest. This steel frame does not form part of the structural frame of the present-day building and has survives as a relic of an earlier structure (the c.1923 factory extension). The steel sections are under-sized by modern structural standards and would not be capable of making a meaningful contribution to the structure of the proposed new student housing building. The proposed dismantling of the steel frame will have an impact on this part of the building. This impact is unavoidable to facilitate the proposed multi-storey student housing development. The proposal to reassemble a section of this steel frame in a prominent location within the completed development is a proportionate and appropriate mitigation measure, which will help to interpret the industrial history of the site to future users of the proposed building.

In addition to the above, the following mitigation measures are recommended:

- *Record drawings of the extension, together with a detailed photographic survey following the soft strip-out of the interior, are to be lodged with the Irish Architectural Archive prior to the commencement of demolition works.*
- *A detailed landscaping plan is to be prepared and submitted to the planning authority for review and agreement prior to the commencement of the development. This landscaping plan will include detailed proposals for the reassembly and presentation of an exemplar section of the 1920's structural steel frame within the final landscape design. The submission will be accompanied by a supporting report, to be prepared by the project conservation architect, which should include a conservation-led method statement for the reconstruction of the frame, to include a detailed specification for the painting and maintenance of the reconstructed steelwork.*

6.2 Retention, alteration and restoration of existing north and east facades to North King Street and Bow Street as part of the proposed development.

The existing façade to North King Street and Bow Street is to be provided with temporary support to ensure that these facades are protected from collapse, water ingress and mechanical damage arising from the demolition works. Prior to the commencement of demolition work, the cement render to the east façade will be removed by hand, to facilitate a detailed inspection and photographic record of the masonry substrate. A comprehensive programme of conservation-led repairs and remedial work will be carried-out to these facades. The following conservation-led works are proposed to the retained north and east external walls of the existing building:

- a) The upper gable of the east façade is to be removed to create a horizontal parapet line that is contiguous with the surviving parapet to the (brick) north façade, which will be finished by a discreet pressed metal capping.
- b) The east façade is to be finished in a napped finish lime render (with no cement content). This will improve the presentation of the façade to Bow Street and will reinstate vapour permeability to facilitate drying out of the surviving nineteenth century fabric of this wall. The existing granite quoins (south and north corners) and plinth will be protected and retained during the works and will be repointed in lime mortar on completion.

- c) The existing blind openings onto Bow Street are to be opened up and fitted with steel frame windows with thermal breaks and slim double-glazed panes, to replicate the design and frame sizes of the surviving steel frame windows on the north façade.
- d) The proposed development will require the creation of four new window openings at first floor level at the southern end of the east façade to Bow Street. There are fewer openings in this section of the existing façade and the new openings are required to facilitate a regular layout of student bedrooms at first floor level in the proposed development. The proposed new openings adopt the vertical proportions of the existing openings but will be slightly smaller than the existing segmental-arched openings. These openings will be fitted with simple metal-frame double-glazed windows to provide a subtle contrast with the historic windows on the façade. This intervention will involve the potential loss of nineteenth century masonry and will have a modest and proportionate impact on the presentation of the east façade.
- e) The proposed development will require the creation of three door openings within existing blind window openings at street level on the east façade to Bow Street. These openings are required to provide fire escape and service access to the proposed development. This will involve the potential loss of nineteenth century masonry and will have a moderate but proportionate impact on the presentation of the east façade.
- f) The three square-headed openings at the northern end of the east façade (onto Bow Street) are to be blocked up. These horizontally-proportioned window openings date from the mid-twentieth century and detract from the late-nineteenth century architectural composition of the east façade. Their removal will have a positive impact on the presentation of the retained east façade.



Fig. 23 Proposed elevation of retained east façade onto Bow Street, with proposed new building behind (reproduced from Architectural Design Report by MOLA)

- g) The existing brick façade onto North King Street will be repaired and retained. The mortar pointing to the façade will be retained. Areas of missing or friable mortar will be repaired using a lime mortar to match the colour and texture of the existing. The brickwork will be lightly cleaned by hand using a combination of warm soapy water (ecological non-toxic detergent) worked over the surface with a nylon bristle brush and a 'Doff' steam cleaner. The brickwork across most of this façade is in good condition. Brickwork that is chipped or has surface damage will be made good using a brick repair mortar to match the existing. Minor chips in the granite will be made good using a granite repair mortar to match the colour and texture of the existing. Where there is significant damage to the granite details (e.g. on the eastern-most sills and on the reveal to the former carriage arch), graft repairs will be carried out using a matching Wicklow granite. All repairs to the façade will be carried out by experienced stone masons under the direction of the project conservation architect. The above specification follows good conservation practice and will have a significant positive impact on the presentation of the protected façade.
- h) The existing steel frame single-glazed windows dating from the 1920's will be conserved and reconditioned. All existing glass within the frame will be retained. The remaining timber frame and uPVC

frame windows will be replaced with new steel frame windows, with thermal breaks and slim double-glazing, to carefully replicate the detailing of the surviving 1920's windows. The above specification follows good conservation practice and will have a significant positive impact on the presentation of the protected façade.

- i) The existing cast iron hopper heads and down pipes will be retained and repaired. Replacement rainwater goods to the retained façade, where required, will comprise powder coated cast iron, to match the profile of the existing. The above specification follows good conservation practice and will have a significant positive impact on the presentation of the protected façade.
- j) The existing cement rendered cill in the eastern-most bay of the existing shopfront is to be broken out to create set back access doors to the retail unit at the north-east corner (ground floor). The proposed intervention will not involve any impact on the stepped reveal to the shop front and will have a moderate but proportionate impact on the presentation of the retained north façade.
- k) The existing ground floor window opening to the immediate right of the retained shopfront is to be broken out and adapted into a fire exit door. The reveals to the lower section of this new opening will be formed with rounded brick to match the existing. This new door opening is required to provide fire escape egress from one of the main staircases within the proposed development. This will involve the careful removal of an existing granite sill and nineteenth century brickwork, having a moderate but proportionate impact on the presentation of the north façade.
- l) The existing mid-twentieth century panelled timber doors within the former carriage arch are to be retained and relocated within the opening to facilitate the outward opening of the door leafs. This intervention will have a neutral impact on the historic fabric and the presentation of the protected façade.
- m) The existing roller shutter door is to be removed from the large square-headed delivery door opening towards the western end of the façade and replaced with a glazed screen with set-back double doors. The existing exit door, to the immediate left of this opening, is to be fitted with a glazed screen. The area behind these glazed openings will comprise a large lobby, functioning as an entrance to the library and a secondary entrance to the student accommodation. The introduction of this glazing will improve the animation of the streetscape and enhance the presentation of the protected façade.
- n) The western-most floor window opening at ground floor level is to be broken out and adapted into an opening as part of the public realm works to Brown Street (see item 6.5 below). The reveals to the lower section of this new opening will be formed with rounded brick to match the existing. This will involve the careful removal of an existing granite sill and nineteenth century brickwork, having a moderate but proportionate impact on the presentation of the north façade.



Fig. 23 Proposed elevation of retained north façade onto North King Street, with proposed new building behind (reproduced from Architectural Design Report by MOLA)

- o) The internal face of the retained north and east external walls will be lined in calcium silicate board. This is a hygroscopic insulation board, which will protect the vapour permeability of the existing walls. As part of this work, any existing cementitious or gypsum plasters will be removed, and the wall will receive a levelling coat of lime plaster before the calcium silicate board is applied. This specification follows good conservation practice and will have a positive impact on the fabric of the retained facades.

The assessment of impacts outlined under items a) to o) above are based on the conservation-led retention and repair of the existing fabric and generally involve a positive impact on the protected façade. The creation of new openings, as outlined above, has been limited to locations where access and/or egress is required to ensure the functionality of the proposed development. The number of new openings has been kept to a minimum and the locations for these openings have been selected to minimise the visual impact on the retained facades. In addition to the above, the following mitigation measures are recommended:

- *A detailed method statement for the temporary works and protection to the retained façade is to be submitted to the planning authority for review and agreement prior to the commencement of demolition work. This submission will be accompanied by a conservation-led commentary by the project conservation architect.*
- *A detailed photographic survey, compiled following the removal of the existing cement dashed render to the east façade, is to be lodged with the Irish Architectural Archive prior to the commencement of demolition works. The Conservation Section of Dublin City Council are to be contacted in the event that any significant concealed features, such as blocked openings that might be incorporated into the final elevational treatment are discovered.*

6.3 Impact of works on existing basement in north-east corner of site

The existing basements in the north-east corner of the site are thought to include fabric from the earlier late-eighteenth century terraced houses that stood on this part of the site. These basements are to be protected during the works, retained and used for plant accommodation as part of the proposed development. This will ensure that all significant fabric in this part of the site is retained and will contribute to a positive conservation outcome for the proposed development.

In addition to the above, the following mitigation measures are recommended:

- *At the outset of the construction works, a soft strip-out will take place on the interior of the building, to include the removal of floor finishes, suspended ceilings, lightweight partition walls and any drylining to the external walls. On completion of this strip-out the interior of the basements will be inspected by the project conservation architect and a detailed photographic record compiled. This photographic record will be submitted to the planning authority, together with an assessment of significance of the exposed fabric and a detailed method statement for the protection of the basement during the works. The photographic record and assessment of significance will separately be lodged in the Irish Architectural Archive*

6.4 Demolition of modern double-height warehouse buildings to rear (south) of site

The modern warehouses to the rear of the site date from the late-twentieth century and are of no architectural significance. The demolition of these warehouses is required to facilitate the proposed student housing development and will not impact on the character or significant fabric of the site.

In addition to the above, the following mitigation measures are recommended:

- *A photographic record of the demolished warehouse is to be included in the record of the existing buildings to be lodged with the Irish Architectural Archive.*

6.5 Public realm improvements to Brown Street (west side of site)

The existing footpath on the south side of North King Street is exceptionally narrow and does not include sufficient space for car/taxi drop-offs and unloading of luggage or deliveries for the occupants of the proposed

development. The reactivation of the shopfront (at the eastern end of the north façade) and the introduction of a new glazed opening (within the existing square-headed delivery door will improve the animation of this section of North King Street. The main entrance to the proposed development will be on the west façade (fronting onto Brown Street). The proposed (new-build) west façade of the proposed development will be set back behind the line of the existing frontage onto Brown Street, to allow for a new footpath with parking set-down areas. As part of these changes, the western-most bay of the protected north façade (onto North King Street) will become external on both sides at ground floor level. A pedestrian opening will be formed at ground level in the façade by removing an existing uPVC frame window and the brickwork below sill level (see item 6.2 (n) above). The new building will project over this opening at first floor level creating a canopy over the main entrance to the proposed student residence. The previously internal south face of the north external wall will be clad in red brick, to match the colour of the brick on the front façade.

With the exception of the new pedestrian opening, the proposed changes outlined above do not impact on significant fabric and will not impact on the significant fabric or character of the protected façade. The widening of the footpath and improved public realm, will result in a significant improvement to the presentation of Brown Street. The creation of the proposed new pedestrian opening is a relatively modest intervention and will involve the careful removal of an existing granite sill and nineteenth century brickwork, having a moderate but proportionate impact on the presentation of the north façade.

In addition to the above, the following mitigation measures are recommended:

- *The reveals at lower level on the north façade around the new pedestrian opening are to be formed with rounded red brick, to match the brickwork on the reveals of the existing window opening.*
- *A sample of the proposed brick to be used in facing the exposed inner (south) face of the north external façade is to be reviewed and agreed with the project conservation architect and the Conservation Section of Dublin City Council, prior to this work taking place.*

6.6 Proposed purpose-built student accommodation development in a 7-storey building over a partial existing basement with a setback at 5th floor and a further significant setback at the 6th floor level.

The long two-storey façade of the former soap factory at 139-149 North King Street is one of the only buildings of architectural and/or historic significance at the eastern end of this historic street. The proposed 7-storey building, with a setback at 5th floor and a further significant setback at the 6th floor level, to be located behind will be a prominent addition to the streetscape. The design of the proposed new building has responded to the sensitive architectural character of the protected façade and takes account of the feedback from Dublin City Council in the two LRD pre-planning meetings. There is a significant setback between the proposed new building and the retained protected façade on all sides of the building. The materials on the upper floors of the new building will comprise a pale off-white brick. The façade of the new building is broken by a significant recess behind the retained façade onto North King Street, with the intention of breaking up the massing of the building as viewed along North King Street from the east and west. These measures provide a visual breathing space between the old and the new and will allow the retained red brick two-storey façade to continue as a significant architectural presence on North King Street.

While these measures are important, the visual impact of the proposed development can only truly be assessed in 3D, through analysis of verified photomontages from key viewpoints. Writing in 2005, Christine Casey noted that great chunks of North King Street lay derelict or had been recently re-built. Twenty years later the streetscape along North King Street remains fragmented and incomplete, although significant new developments on the corner with Church Street (to the east of the site), on the Irish Distillers Site (to the south) and on the west side of Smithfield have increased the scale and height of the streetscape. These changes have left the low horizontal massing of the twenty-six-bay two-storey former soap factory as something of an anomaly, on a city centre site that previously accommodated densely packed four-storey late-eighteenth century houses. The visual impact of the proposed development is reviewed from key vantage points in Section 7.0 below.



Fig. 24 3D study of massing and materiality of proposed development, viewed from North King Street to west of site (reproduced from Architectural Design Report by MOLA)

7.0 VISUAL IMPACT OF PROPOSED NEW BUILDINGS ON THE PROTECTED FAÇADE OF 139-149 NORTH KING STREET AND ITS ENVIRONS, AND MITIGATION MEASURES ADOPTED

7.1 Selection of viewpoints

The proposed development is located behind a retained historic façade that is included on the Record of Protected Structures, within a highly sensitive city centre location. Viewpoints were selected for the preparation of ‘before’ and ‘after’ views to facilitate a visual assessment of the proposed development from the potentially sensitive locations noted below. The selection of viewpoint locations was informed by a conservation-led assessment of the site and its surrounding areas by the author, a RIAI Grade 1 Conservation Architect, and by feedback received from Dublin City Council during the LRD pre-planning meetings. The visual impact on the setting and character of the protected façades onto North King Street and the wider streetscape character of the surrounding area has been reviewed and is summarised below.

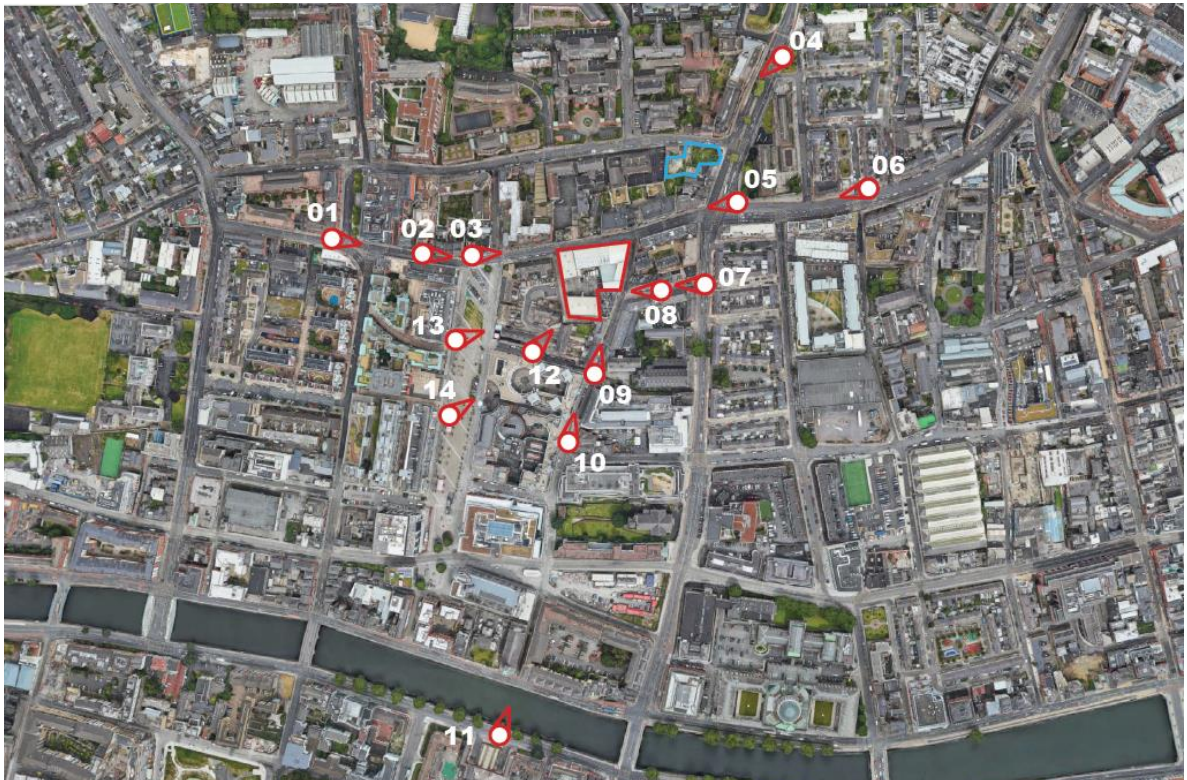


Fig. 24 Location of viewpoints for verified view photomontages of proposed development (from Verified View Report, by Digital Dimensions)

7.3 Overview of verified view photomontages from surrounding area

‘Before’ and ‘after’ verified view photomontages have been prepared from key vantage points in the area surrounding the subject site and are being submitted as part of this planning application. These include distant views, middle distance views (including locations within and around neighbouring streets), and views at close range to the development.

View No.	Location	Comment
1	North King Street, west of junction with Queen Street	Distant view with upper floors of proposed building visible – refer to Section 7.4 below
2	North King Street, west of Smithfield Market	Middle-distance view with proposed building visible – refer to Section 7.5 below
3	North King Street, north of Smithfield Market	Middle-distance view with proposed building visible – refer to Section 7.6 below
4	Constitution Hill	Distant view. Proposed development is not visible
5	Junction of Church Street and North King Street (to east of site)	Middle-distance view with proposed building visible – refer to Section 7.7 below
6	Junction of North King Street and Linenhall Street (to east of site)	Distant view. Proposed development is not visible
7	Junction of Nicholas Avenue and Church Street	Middle-distance view with proposed building visible – refer to Section 7.8 below
8	Nicholas Avenue (east of Bow Street)	View relatively close to site with proposed building visible – refer to Section 7.9 below
9	Bow Street, at junction with Friary Avenue	View relatively close to site with proposed building visible – refer to Section 7.10 below
10	Bow Street, at junction with Mary’s Lane	Middle-distance view with proposed building visible – refer to Section 7.11 below
11	Usher’s Quay, looking north from south side of River Liffey	Distant view. Proposed development is not visible
12	Junction of Friary Avenue and Friary Grove	View relatively close to site with proposed building visible – refer to Section 7.12 below
13	Smithfield Market (opposite Friary Avenue)	Distant view with upper floors of proposed building visible – refer to Section 7.13 below
14	Smithfield Market (opposite former Irish Distillers’ chimney)	Distant view. Proposed development is not visible

The views where the proposed development is visible are discussed in further detail below.

7.4 View 1: North King Street, west of junction with Queen Street



Fig. 25 View 1 – Existing (from Verified View Report, by Digital Dimensions)

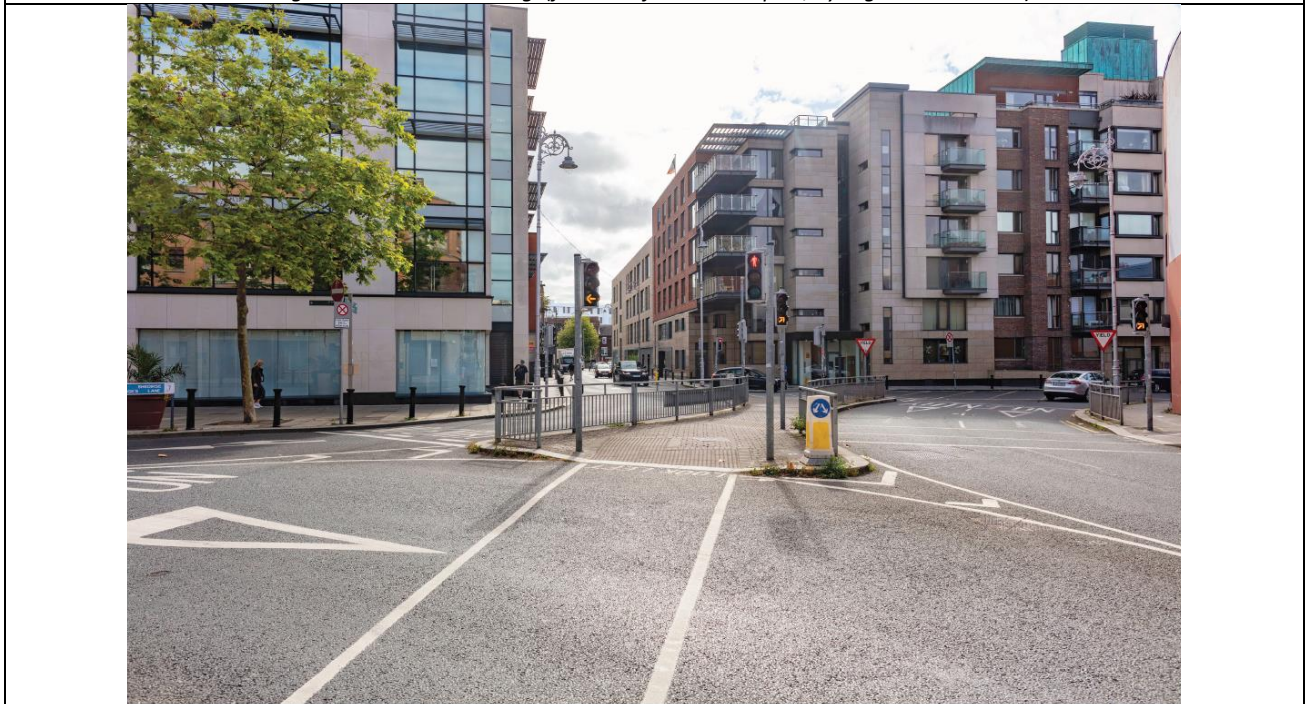


Fig. 26 View 1 – Proposed (from Verified View Report, by Digital Dimensions)

This is a distant view looking west from the junction of North King Street with George’s Lane (west of Queen Street). The view is framed by two large residential buildings – Coopers Yard (seven storeys with set-back seventh and eighth floor) on the left and Georges Court (on the left). The upper floors of the proposed development are visible in the distance in the ‘proposed view’ but is not dominant on the skyline.

7.5 View2: North King Street, west of Smithfield Market



Fig. 27 View 2 – Existing (from Verified View Report, by Digital Dimensions)



Fig. 28 View 2 – Proposed (from Verified View Report, by Digital Dimensions)

This is a middle-distance view looking west along North King Street towards the subject site. There are four storey Georgian Townhouses on the left (north) side of the street, including 85 North King Street (a protected structure). The upper floors of the proposed development are visible but not dominant above the existing buildings on the east side of Smithfield Market. The set back top (sixth) floor, with dark metal cladding, is barely visible.

7.6 View 3: North King Street, north of Smithfield Market



Fig. 29 View 3 – Existing (from Verified View Report, by Digital Dimensions)



Fig. 30 View 3 – Proposed (from Verified View Report, by Digital Dimensions)

This is a middle-distance view looking west along North King Street towards the subject site. The Cobblestone Pub, a protected structure, is on the left in the foreground. There is a stepped four-storey apartment building (of late-twentieth century date) at Smithfield Terrace on the right. The retained façade of 139-149 North King Street, with the six-storey components of the proposed development behind, is visible but not excessively dominant from this viewpoint, providing an appropriate level of enclosure to North King Street. The set back top (sixth) floor, with dark metal cladding, is not visible. The parapet level of the visible six-storey blocks is compatible with the existing parapet lines of the upper floors of Smithfield Terrace (in the foreground) and the apartment building on the corner of Church Street and North King Street (in the distance).

7.7 View 5: Junction of Church Street and North King Street (to east of site)



Fig. 31 View 5 – Existing (from Verified View Report, by Digital Dimensions)



Fig. 32 View 5 – Proposed (from Verified View Report, by Digital Dimensions)

This middle distance view looks west along North King Street from the junction with Church Street, a busy and prominent junction within the north inner city. The proposed six-storey blocks, set back behind the retained red brick façade are visible and read as a continuation of the parapet line of the red brick apartment building in the foreground. The set back top (sixth) floor, with dark metal cladding, is not visible. The step back from the lower building line and change in brick colour (between the existing and the new) gives an appropriate prominence to the retained red brick façade of the former soap factory. The gap between the east and west blocks of the proposed student residence can be seen to break up the mass of the proposed new building. The proposed new building does not overpower the more traditional four-storey terraced buildings on the north side of the junction. The proposed building provides an appropriate level of enclosure to North King Street that is missing from the existing view.

7.8 View 7: Junction of Nicholas Avenue and Church Street



Fig. 33 View 7 – Existing (from Verified View Report, by Digital Dimensions)



Fig. 34 View 7 – Proposed (from Verified View Report, by Digital Dimensions)

This is a middle-distance view looking west down Nicholas Avenue (a laneway between Church Street and Bow Street) towards the subject site. The proposed building is visible from this viewpoint but does not dominate the view.

7.9 View 8: Nicholas Avenue (east of Bow Street)



Fig. 35 View 8 – Existing (from Verified View Report, by Digital Dimensions)

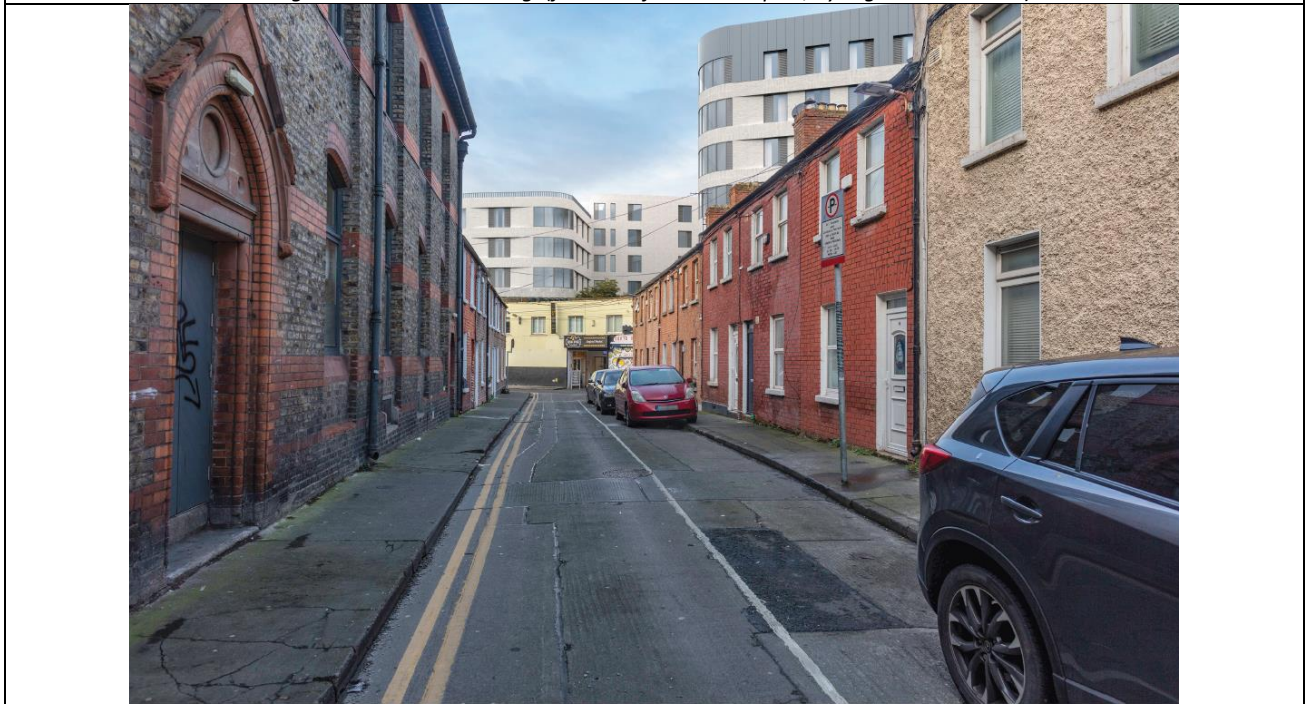


Fig. 36 View 8 – Proposed (from Verified View Report, by Digital Dimensions)

Nicholas Avenue is a narrow laneway with the Capuchin Mission Office to the south (left) and two-storey terraced red brick houses to the north (right). The proposed development will be visible from this location. The seven-storey east block (with metal-clad upper floor) is visible behind the terraced houses but isn't excessively dominant. The five-storey south block and six-storey west block are visible behind the existing (yellow) façade at the end of the lane. The stepped massing helps to ensure that the proposed building, while visible, does not overpower the existing streetscape from this view point.

7.10 View 9: Bow Street, at junction with Friary Avenue



Fig. 37 View 9 – Existing (from Verified View Report, by Digital Dimensions)



Fig. 38 View 10 – Proposed (from Verified View Report, by Digital Dimensions)

This view, looking north along Bow Lane, is at relatively close range to the proposed development. The seven-storey east block, with metal-clad top floor, is visible in the ‘proposed view’, acting as a bookend to the two-storey red brick terrace. The change in scale (between the terraced housing and the proposed development) is comparable with the Smithfield Village/Malthouse Square apartments (to the south of this viewpoint – see Section 7.11 below) and the existing apartments at the corner of North King Street and Church Street (to the immediate east of the subject site).

7.11 View 10: Bow Street, at junction with Mary's Lane



Fig. 39 View 10 – Existing (from Verified View Report, by Digital Dimensions)



Fig. 40 View 10 – Proposed (from Verified View Report, by Digital Dimensions)

This viewpoint, which is further south along Bow Lane than the previous View 9, shows the relationship between the Smithfield Village / Malthouse Square development (at the south end of Bow Lane) and the proposed development to the north. The proposed seven-storey student residence (with metal-clad upper floor) is visible but does not dominate the view. The scale and massing of the proposed development is compatible with that of the older apartment building (in the foreground). Neither building dominates Bow Lane from this viewpoint.

7.12 View 12: Junction of Friary Avenue and Friary Grove



Fig. 41 View 12 – Existing (from Verified View Report, by Digital Dimensions)



Fig. 42 View 12 – Proposed (from Verified View Report, by Digital Dimensions)

This is a close range view, looking towards the site from Friary Avenue. The two and three-storey terraced houses of Friary Grove (constructed in the 1980's) are in the foreground. The proposed development is visible from this viewpoint, with the set back (stepping down from six to five storeys) and the recessed central portion of the west façade helping to break down the scale and massing of the proposed development. The set back of the proposed new building behind the existing (two-storey) building line on the east side of Brown Street has helped to mitigate the impact of the development from this viewpoint. While visible behind the existing buildings, the proposed development does not visually overpower Friary Grove.

7.13 View 13: Smithfield Market (opposite Friary Avenue)



Fig. 43 View 13 – Existing (from Verified View Report, by Digital Dimensions)



Fig. 44 View 13 – Proposed (from Verified View Report, by Digital Dimensions)

This is a distant view looking east across Smithfield Market towards the subject site. There are relatively low-rise three-storey terraced houses on the east side of the market square, of similar design to those at Friary Grove. The upper floors of the part-five-storey / part-six-storey west block of the proposed development are visible in a gap between the houses. The parapet height of the proposed building is lower than the ridge height of the three-storey houses fronting onto Smithfield Market. The proposed building is a low-key presence in the background and does not significantly impact on the setting of Smithfield Market. The proposed seven-storey west block, with dark metal cladding, is not visible from this viewpoint.

8.0 CONCLUSION

- 8.1 Proposed conservation and retention of the existing north and east façade of 139-149 North King Street:
The conservation-led retention, repair and enhancement of the protected façade is an important central objective of the proposed development. The repair and retention of the surviving 1920's windows and reinstatement in replica of the steel frame windows in the remaining window openings, will greatly enhance the presentation of this important red brick façade within the heart of the north inner city. Significant improvements are proposed to the east façade onto Bow Street. The removal of the existing heavily-stained cement render and the re-rendering in lime render, together with the reinstatement of the nineteenth century parapet line and the introduction of replica steel frame windows will ensure that the retained façade makes a significant positive contribution to the streetscape of Bow Lane.
- 8.2 Scale, massing, and height:
The existing two-storey factory façade is low rise relative to the surviving eighteenth and nineteenth century buildings along North King Street, as well as the more recent six and seven storey buildings in close proximity to the site. The proposed design includes a significant set back between the retained historic façade and the new-build student accommodation above, together with a visual break between the east and west blocks of the new-build accommodation. This approach gives particular prominence to the retained protected façade in views looking east and west along North King Street. The impact of the proposed development has been subject to a conservation-led assessment from key view points in the vicinity of the subject site. The proposed development, while visible from some of these viewpoints does not excessively dominate or overpower the existing buildings in any of the views.
- 8.3 Public Realm / Provision of Communal Open Space:
The proposed design includes measure to improve the street level animation along the relatively narrow footpath of North King Street. Significant public realm enhancements, including hard landscaping and set-down parking spaces, are proposed on the west side of the side. This will significantly enhance the streetscape of Brown Street and will improve views towards the junction of Brown Street and North King Street from the west.
- 8.4 Materials:
The selection of materials has been carefully considered to provide a clear visual contrast between the retained façade of 139-149 North King Street and the proposed new-build student accommodation (behind the existing façade).



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APPENDIX A

PHOTOGRAPHIC RECORD OF 139-149 North King Street

The photographs in this appendix are additional to the photographs included in the main body of the report. All photographs were taken by the author during inspections of the buildings on 26th July 2024 and 7th March 2025. Refer to Appendix B for viewpoints.

EXTERIOR OF 139-149 NORTH KING STREET



Fig. A1 Eastern end of front (north) façade onto North King Street. This section of façade dates from c.1885



Fig. A2: Central section of front (north) façade onto North King Street. The façade to the left of the downpipe dates from c.1885. The façade to the right forms part of the 1920's extension by Jones & Kelly.



Fig. A3: Western end of front (north) façade onto North King Street. The six western-most bays form part of a later extension added in c.1942.



Fig. A4: Surviving steel frame windows at first floor level in central section of front (north) facade



Fig. A5: Detail of shopfront at east end of front (north) facade



Fig. A6: Detail of granite window sill at east end of front (north) facade



Fig. A7: Detail of rounded brick reveal to ground floor window opening at east end of facade



Fig. A8 Detail of granite reveal to former carriage arch on front (north) façade. The paneled timber doors are a late-twentieth century infill



Fig. A9 Detail of window sill on east part of façade (c.1885)



Fig. A10: Detail of ground floor opening with replacement window on central part of façade (c.1923)



Fig. A11: Corner of North King Street and Brown Street



Fig. A12 West façade of 'Little Italy' wholesale unit (constructed c.1994), fronting onto Brown Street



Fig. A13 West frontage of site onto Brown Street



Fig. A14 South-west corner of site, fronting onto Brown Street.



Fig. A15 View looking west along Brown Street, with south façade of double-height warehouses on right



Fig. A16 View looking north along Bow Street towards site, from junction with Nicholas Avenue



Fig. A17 East frontage onto Bow Street. Sections of this warehouse façade date from the construction of the former soap factory in c.1885



Fig. A18 Detail of southern part of east facade onto Bow Street.



Fig. A19 Detail of northern part of east facade onto Bow Street.



Fig. A20 Detail of granite plinth at base of east façade (onto Bow Street)



Fig. A21: Granite quoins at southern end of east façade (Bow Street)



Fig. A22: Granite sill on east façade (Bow Street)



Fig. A23: Granite quoins at north corner of east façade (Bow Street)



Fig. A24: Goods yard to rear of 139-149 North King Street – south façade of two-storey block on north side of yard



Fig. A25: Goods yard to rear of 139-149 North King Street – view looking west towards Brown Street



Fig. A26: Goods yard to rear of 139-149 North King Street – warehouse units on south side of yard



Fig. A27: Goods yard to rear of 139-149 North King Street – view looking towards north-east corner of yard

INTERIOR OF 139-149 NORTH KING STREET – GROUND FLOOR



Fig. A28: Interior of wholesale retail unit at west end of 139-149 North King Street



Fig. A29: Interior of wholesale retail unit at west end of 139-149 North King Street



Fig. A30 Interior of wholesale retail unit – detail of window

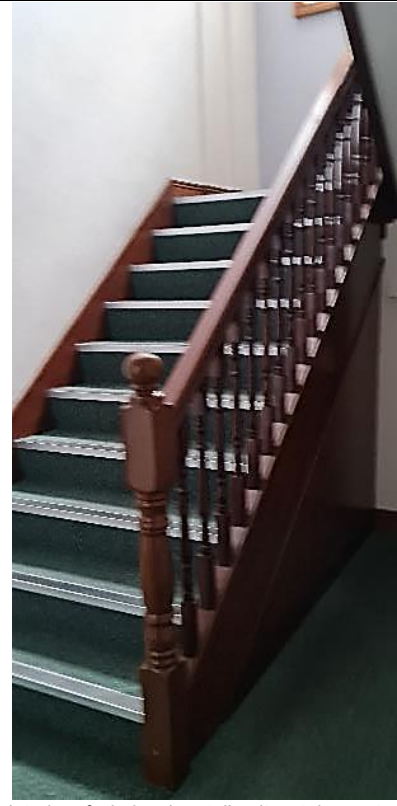


Fig. A31 Interior of wholesale retail unit – staircase to first floor



Fig. A32 Interior of microbrewery in central part of 139-149 North King Street



Fig. A33 Interior of microbrewery in central part of 139-149 North King Street – windows on north external wall



Fig. A34 Interior of microbrewery in central part of 139-149 North King Street

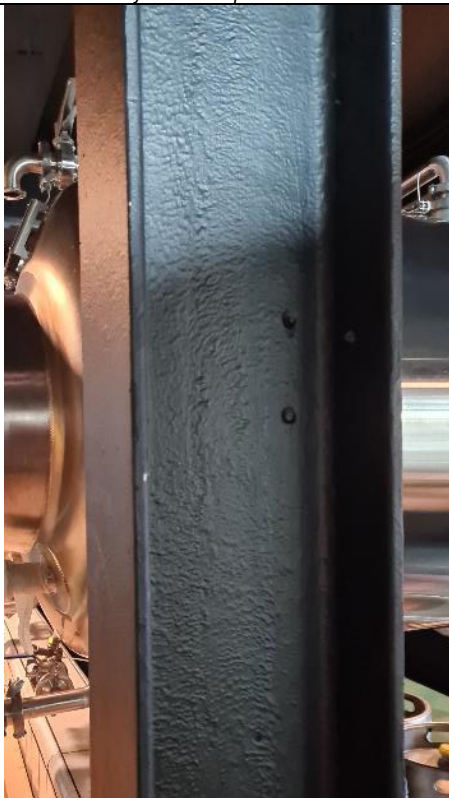


Fig. A35: Detail of steel column in microbrewery



Fig. A36: Detail of steel column in microbrewery



Fig. A37: Interior of warehouse off Bow Street, at south-east corner of site



Fig. A38: Interior of warehouse off Bow Street, at south-east corner of site



Fig. A39: Interior of warehouse off Bow Street, at south-east corner of site



Fig. A40: Interior of warehouse off Bow Street, on east side of site



Fig. A41 Interior of warehouse off Bow Street, on east side of site



Fig. A42 Staircase to basement at north-east corner of site



Fig. A43 Staircase to first floor at north-east corner of site



Fig. A44 Modern doors within former carriage arch on north external wall

INTERIOR OF 139-149 NORTH KING STREET: FIRST FLOOR



Fig. A45 Windows on north external wall of office accommodation at first floor above 'Little Italy', wholesale retail unit



Fig. A46 Interior of office accommodation at first floor above 'Little Italy', wholesale retail unit



Fig. A47 Soffit of metal deck roof above suspended ceiling over first floor of 'Little Italy', wholesale retail unit

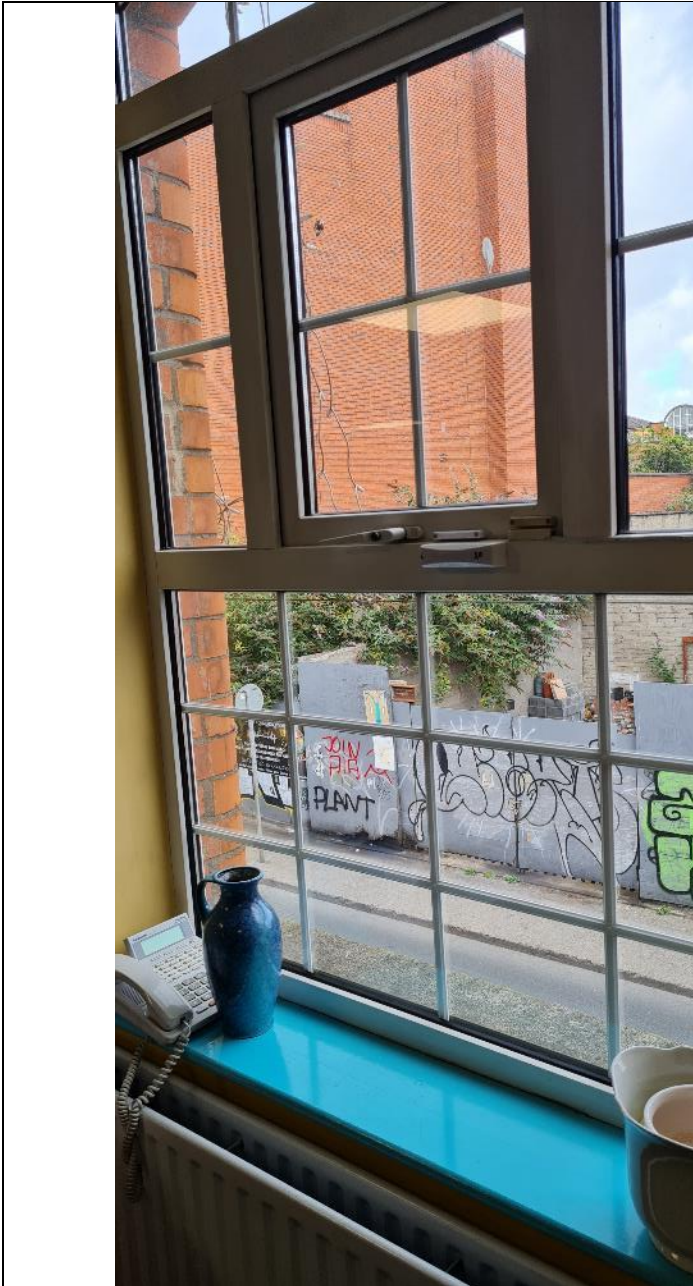


Fig. A48 Replacement uPVC frame window on first floor



Fig. A49 Surviving 1920's steel frame window at first floor level



Fig. A50 Interior of first floor above microbrewery. This section of the building was constructed as an extension to the soap factory in c.1923



Fig. A51 Interior of first floor above microbrewery.



Fig. A52 Interior of first floor above microbrewery.



Fig. A53 Modern metal deck roof on steel trusses behind suspended ceiling of first floor above microbrewery



Fig. A54 Modern metal deck roof on steel trusses over first floor storage area within microbrewery. Note: 1920's steel frame (painted green) does not support roof structure.



Fig. A55 First floor, staircase



Fig. A56 First floor, lobby to toilets



Fig. A57 First floor, staircase



Fig. A58 First floor, north-east corner of 139-149 North King Street



Fig. A59 First floor, north-east corner of 139-149 North King Street



Fig. A60 First floor, north-east corner of 139-149 North King Street



Fig. A61 First floor, with east external wall (to Bow Street) on left

INTERIOR OF 139-149 NORTH KING STREET: BASEMENT (NORTH-EAST CORNER OF SITE)



Fig. A62 Interior of basement, north-east corner of site



Fig. A63 Interior of basement, north-east corner of site



Fig. A64 Interior of basement, north-east corner of site



Fig. A65 Brick arch, interior of basement, north-east corner of site



Fig. A66 Interior of basement – curved surface of plasterboard lining to ceiling is a possible indicator of a shallow vault overhead

APPENDIX B

EXISTING SURVEY PLANS OF 139-149 NORTH KING STREET

Note:

The existing survey plans within Appendix B have been adapted from the planning application drawings. The drawings have been annotated to show the viewpoint for all photographs contained in Appendix A.

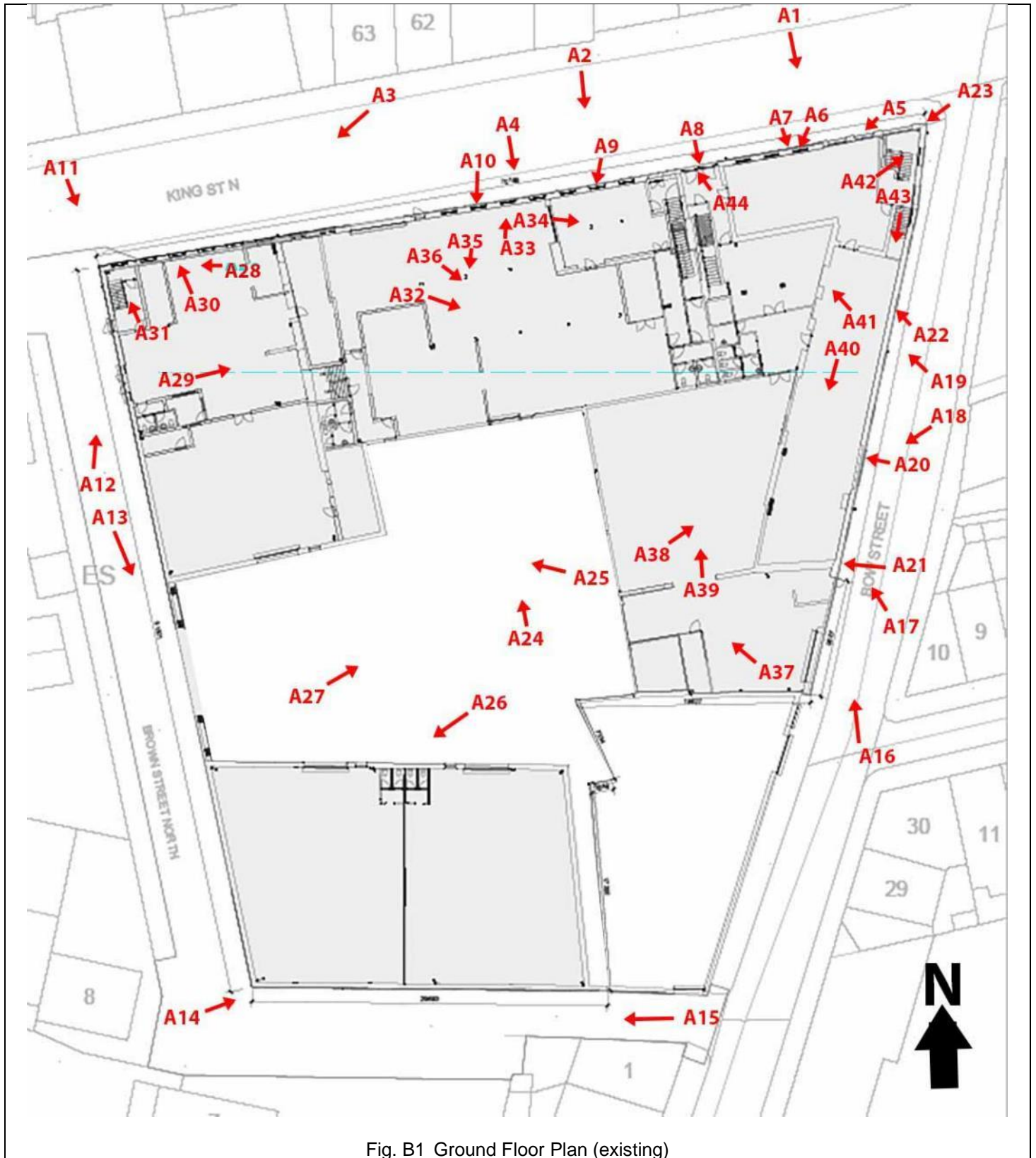


Fig. B1 Ground Floor Plan (existing)

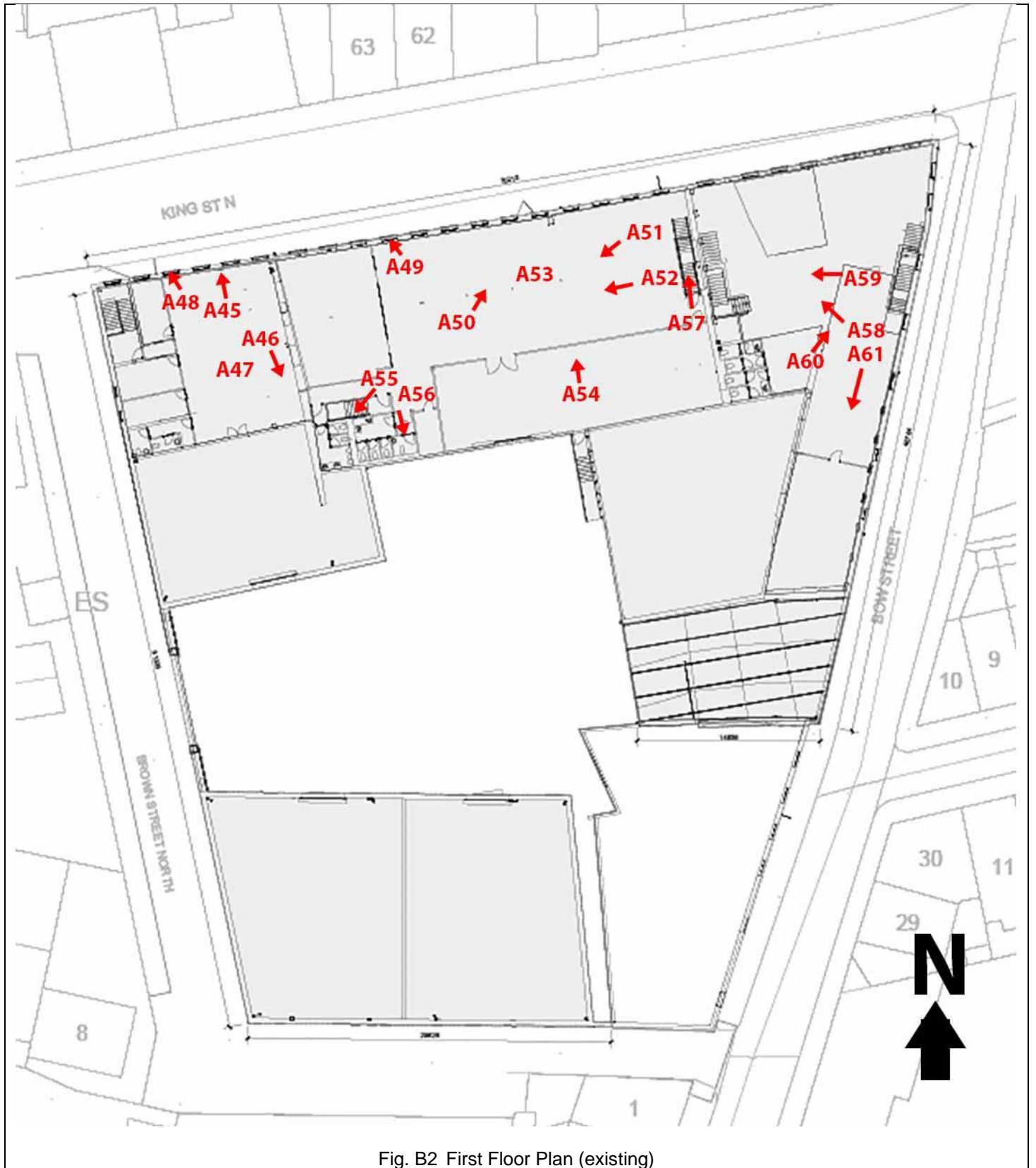


Fig. B2 First Floor Plan (existing)

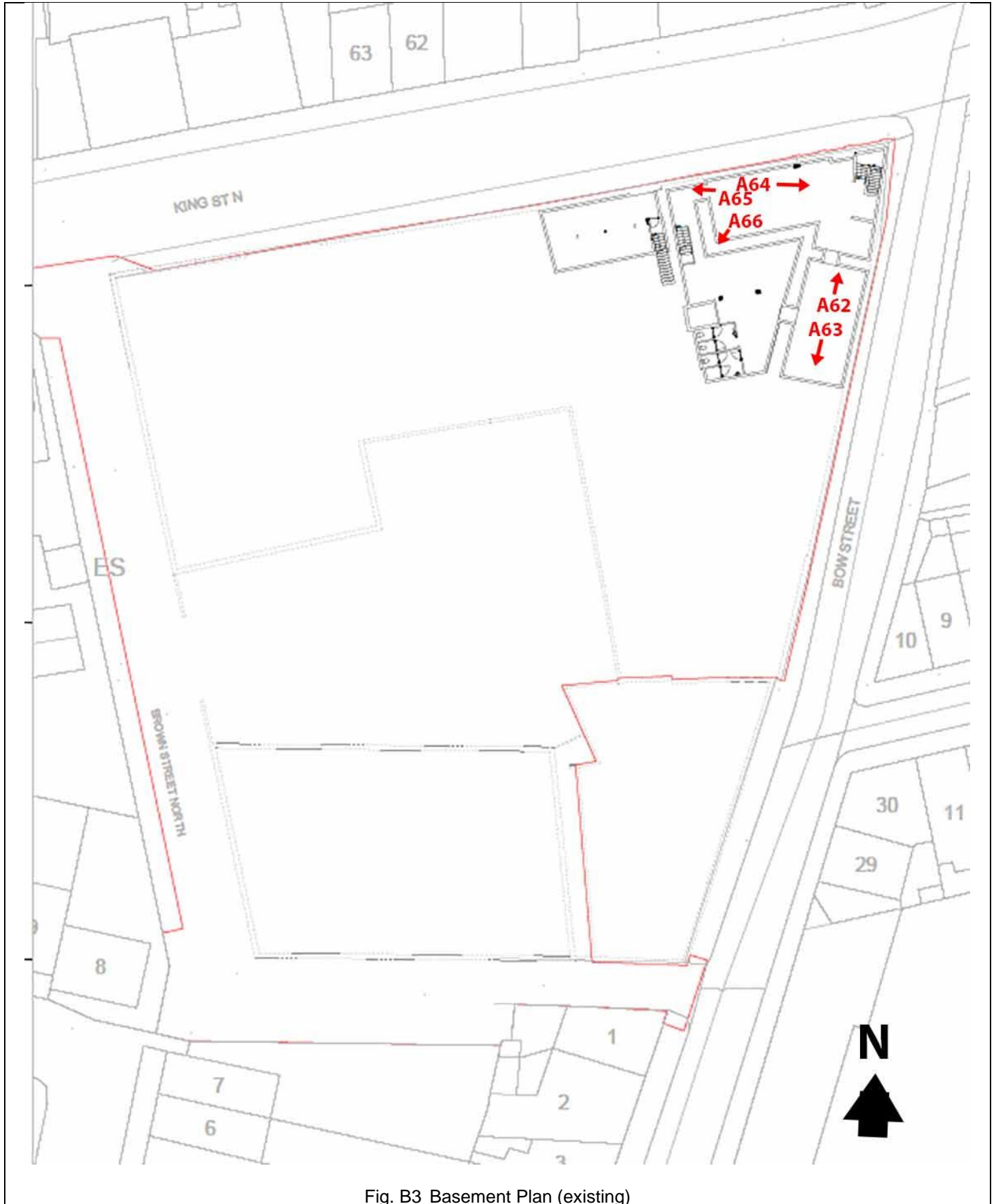


Fig. B3 Basement Plan (existing)